



**PROFECTUS**  
DESIGN

# Statement of Environmental Effects

for

**Duplex**

at

**286 William Street KINGSGROVE NSW 2208 Lot 68 DP 22360**

**Prepared For**

**Mr Jim Petratos**  
286 William Street  
KINGSGROVE NSW 2208

**Project Number**

**020322**

**Revision History**

Rev	Date	Purpose
A	31.05.2022	Final DA Issue

**Written by**

Stephen Petratos



Found and Lead Designer  
Dip. Building Design  
Dip. Building and Construction  
stephen@pdesign.com.au

**Authorised by**

Stephen Petratos



Found and Lead Designer  
Dip. Building Design  
Dip. Building and Construction  
stephen@pdesign.com.au



## Table of Contents

1.0	INTRODUCTION.....	4
2.0	SITE ASSESSMENT.....	6
2.1	Locality Assessment.....	6
2.2	Site Description.....	7
2.3	Surrounding Development .....	7
3.0	THE PROPOSAL .....	9
3.1	Plans and Elevations.....	10
3.2	Development Calculations .....	16
3.3	Landscaping, Tree Removal & Tree Protection .....	17
3.4	Demolition.....	17
3.5	Stormwater Management.....	17
3.6	Erosion & Sedimentation Control.....	17
4.0	PLANNING CONTROLS.....	19
4.1	Canterbury Local Environmental Plan (LEP) 2012.....	19
4.1	Clause 4.6 Variation .....	21
4.2	Canterbury Development Control Plan (DCP) 2012.....	21
	Chapter C2 – Dual Occupancies and Semi-detached Dwellings .....	22
6.0	CONCLUSION .....	31



## 1.0 INTRODUCTION

Profectus Design has prepared this Statement of Environmental Effects to support the development application for a Duplex at 286 William Street KINGSGROVE NSW 2208 Lot 68 DP 22360 submitted to Canterbury Bankstown Council

This statement should be considered in conjunction with the lodged development plans as itemised.

Sheet Number	Sheet Title	Revision #
A0000	COVER SHEET & PROJECT CALCULATIONS	A
A0001	SITE CONTEXT / ANALYSIS	A
A0002	SITE SURVEY	A
A0003	EXISTING SITE & DEMOLITION PLAN	A
A0004	PROPOSED SITE PLAN	A
A0005	PROPOSED CUT & FILL, WASTE & SITE MANAGEMENT PLAN	A
A0006	PROPOSED LANDSCAPE PLAN	A
A0007	CONCEPT TORRENS TITLE SUBDIVISION PLAN	A
A1101	FURNITURE PLAN – GROUND FLOOR	A
A1102	FURNITURE PLAN – FIRST FLOOR	A
A1103	PROPOSED PLAN – ROOF	A
A1104	SHADOW DIAGRAMS – WINTER SOLSTICE 21 JUNE	A
A2001	ELEVATIONS 01	A
A2002	ELEVATIONS 02	A
A3001	SECTION A-A & DRIVEWAY SECTION	A
A4001	POOL PLAN	A
A7001	EXTERNAL FINISHES SCHEDULE	A
A7002	PERSPECTIVES 01	A
A7003	PERSPECTIVES 02	A
A9001	DOOR & WINDOW SCHEDULE	A



The aims of this report is to:

- Provide an assessment of the locality, subject site, and applicable planning controls, and
- Describe the proposed development

No Development Advisory Meeting (DA) was held with Canterbury Bankstown Council.

This Statement of Environmental Effects should be read in conjunction with the following supporting technical studies which are submitted under separate cover:

Title	Author	Date / Version
Architectural Plans	Profectus Design	30.05.2022 / A
Waste Management Plan	Profectus Design	30.05.2022 / A



## 2.0 SITE ASSESSMENT

### 2.1 Locality Assessment

The subject site is located within the suburb of Kingsgrove which is approximately 15km south west of the Sydney CBD. The site is located within an established residential area characterised by single and double storey detached dwellings with reasonably uniform front setbacks. The front facades all include brown face brick and yards all include landscaping, established trees and front fences. The surrounding sites are continually being updated to include new double storey homes and duplexes which are finished with full render in white and grey tones.

The following figure shows the location of the subject site in relation to the surrounding locality:

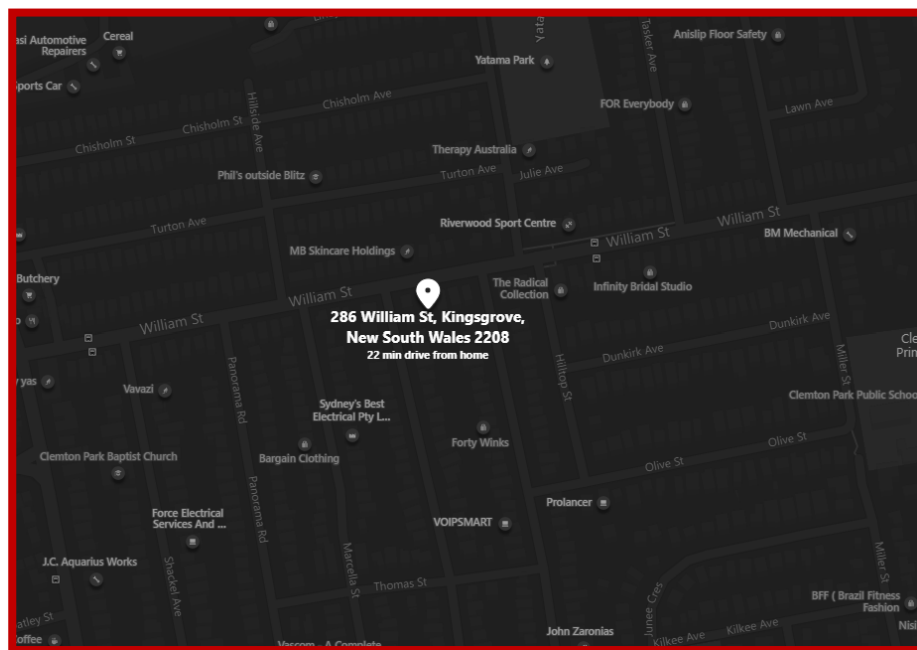


Figure 1: Locality Map (Source Bing Maps 2022)



Figure 2: Aerial Site Map (Source Bing Maps 2022)

## 2.2 Site Description

The site is regular in configuration and is known as 286 William Street KINGSGROVE NSW 2208 and is legally described as Lot 68 DP 22360. It is approximately 575.40m<sup>2</sup> in area and contains a single storey double dwelling of double brick and tile construction with detached outbuilding.

The site has a frontage to William Street of 15.24m and a depth of 38.10m. The site has a fall from southwest (side) to north west (side) of 0.94m.

The subject site is located within an R3 Medium Density Residential zone. Careful attention has been placed to ensure privacy is maintained to the adjoining neighbouring buildings.

## 2.3 Surrounding Development

### 2.3.1 Streetscape Character and Visual Setting

The surrounding area is characterised by single and double storey detached dwellings with fairly uniform front setbacks of varying styles in architecture. The average age of the dwellings along William Street is approximately 40 years old. The dwellings at this time were all built using brown/red coloured face brick with steep roof pitches. It is evident that the

street is now in a transitional period with new double storey dwelling and duplexes being constructed along the street that are all completely rendered in white and grey tones.

### **2.3.2 Existing Vegetation**

Existing vegetation within the streetscape consists of grassed front yards and sparse ornamental trees with brick or rendered front fences.

### **2.3.3 Topography**

The site has a fall from southwest (side) to north west (side) of 0.94m which is consistent with the fall from side to side boundaries along the streetscape.

### **2.3.4 Views**

The site is essentially suburban. Being on the mid to high end of the street, there is a high potential for city views on the secondary story of the duplex.

### **2.3.5 Heritage**

The site is not a heritage item or adjoining a heritage item or located within a heritage conservation area.

### **2.3.6 Form of Adjacent Buildings**

In the immediate area around the site are single and double storey detached dwellings with fairly uniform front setbacks. The front yards include landscaping, established trees and brick or rendered front fences.

### **2.3.7 Surrounding Noise Sources**

The site is surrounded by residential uses not being of a significant noise source.

### **2.3.8 Flooding**

The site is not within a floodplain, flood path or flood affected area

### **2.3.9 Fire**

The site is not with a bushfire zone.





### 3.0 THE PROPOSAL

The proposal is seeking approval for the demolition of existing structures and construction of a double storey duplex and pools.

This proposal seeks development consent for:

- Demolition of the existing residence and outbuildings;
- Construction of a double storey duplex, including;
  - Ground Floor
    - Single Garage
    - Powder Room
    - Laundry
    - Kitchen
    - Living
    - Dining
    - Alfresco
    - Pool
  - First Floor
    - Master Suite with W.I.R, Ensuite and Balcony
    - 2 Bedrooms including Built-in Robes
    - Main Bathroom

The development application seeks to utilise the existing vehicular driveway for Unit B (Lot 2) Garage and will require a new driveway opening for Unit A (Lot 1).

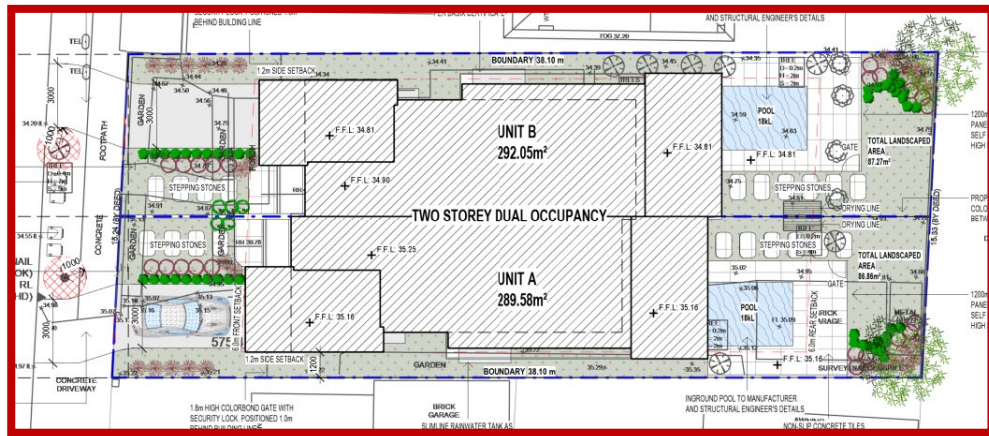
The proposed design solution maintains the block principle and has been derived from detailed site analysis and in consideration of the provisions of the Canterbury Bankstown Council, Canterbury Development Control Plan (DCP) 2012 and Canterbury Local Environmental Plan (LEP) 2012.

The design solution provides for the construction of a two storey duplex. The footprint of the building integrates several recesses and projections providing of an overall articulated development with a high-quality architectural aesthetic. The floor layout illustrates the residential building positioned in a rectangular configured determined by the existing single storey dwelling. The façade properties is made up of material used throughout the existing streetscape with the addition of a stacked stone in a light grey tone.

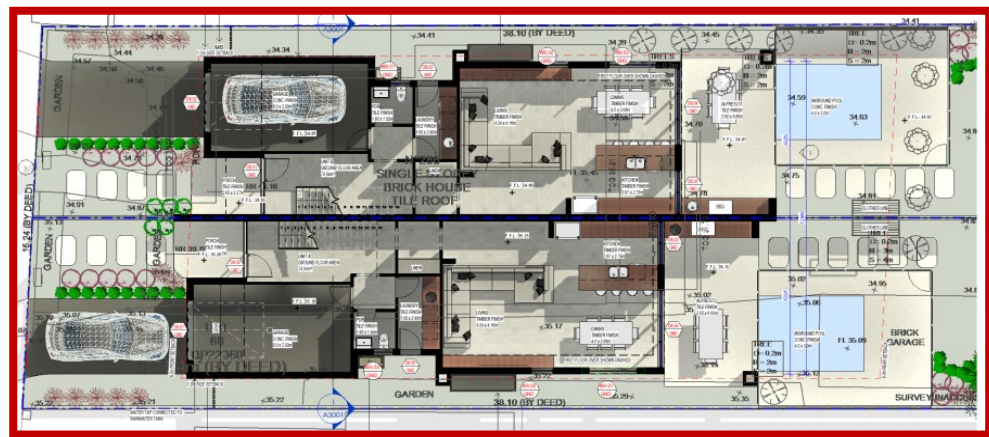


### 3.1 Plans and Elevations

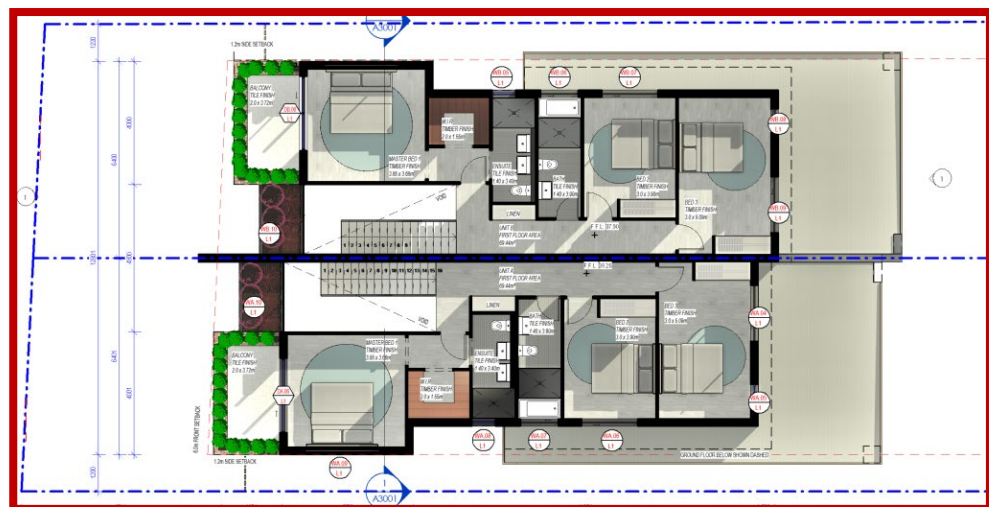
#### Site Plan



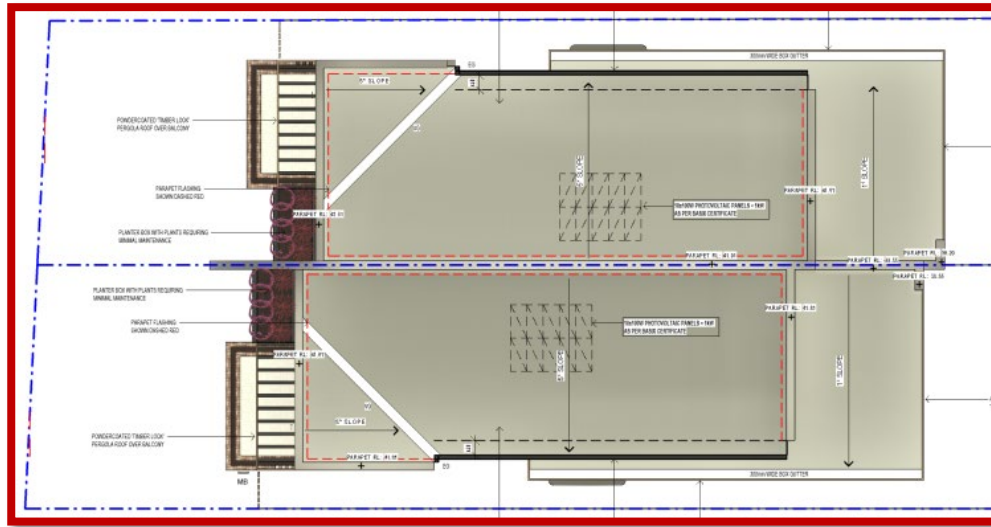
#### Ground Floor Plan



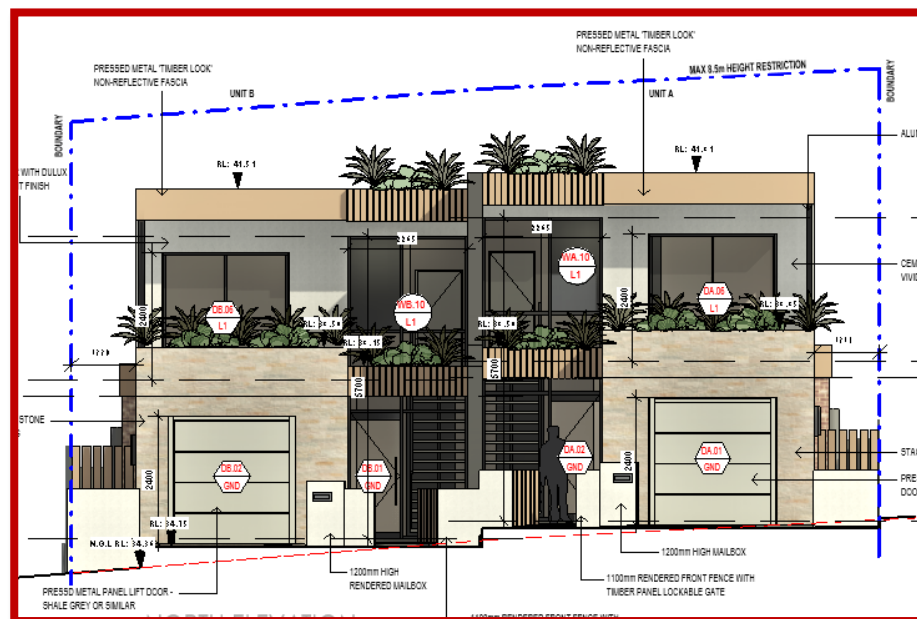
#### First Floor Plan



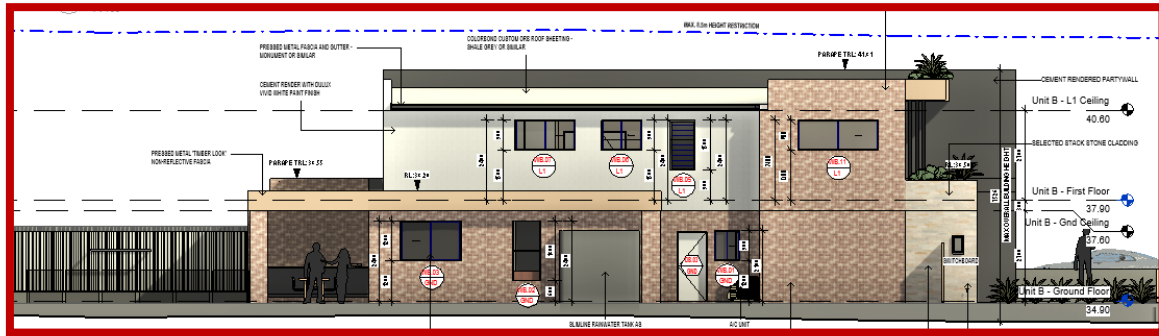
## Roof Plan



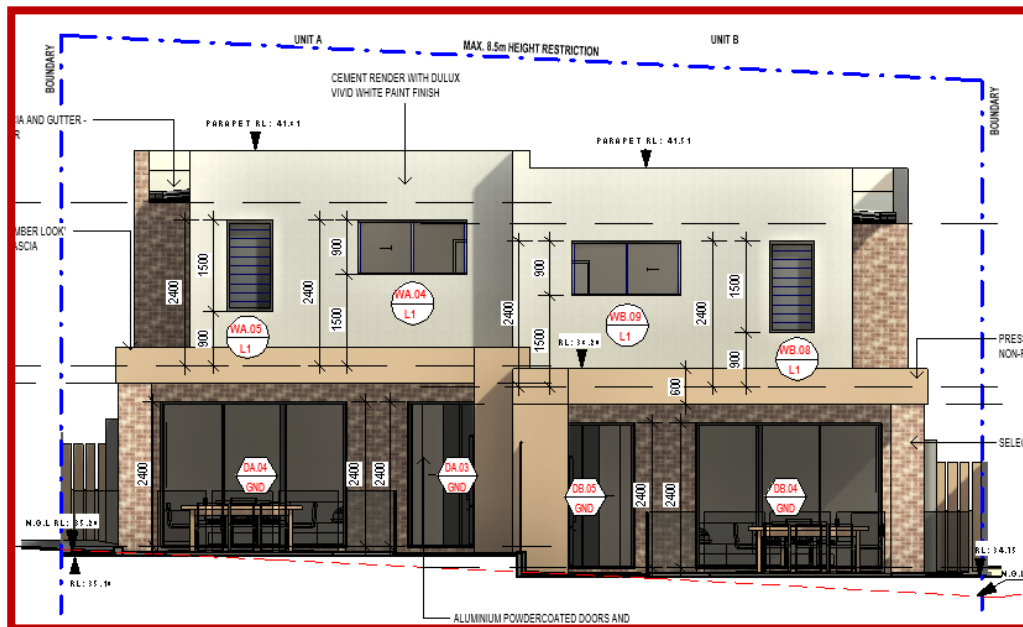
### Elevations (North)



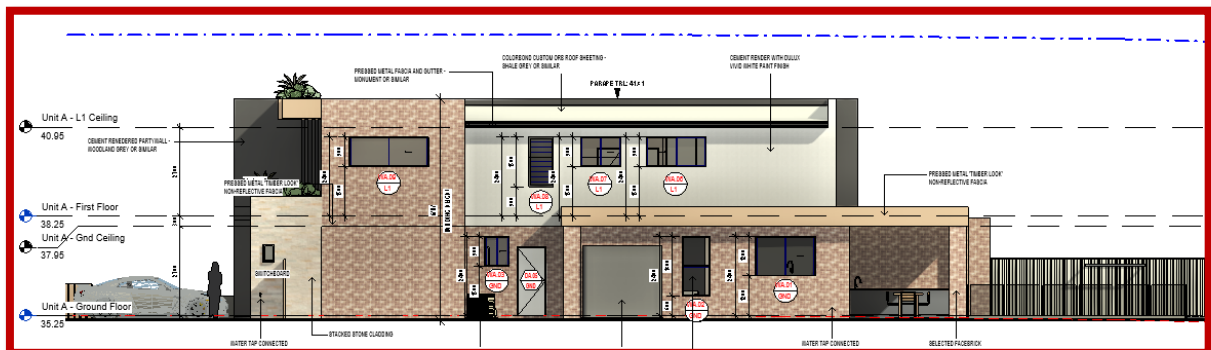
## Elevations (East)



## Elevations (South)

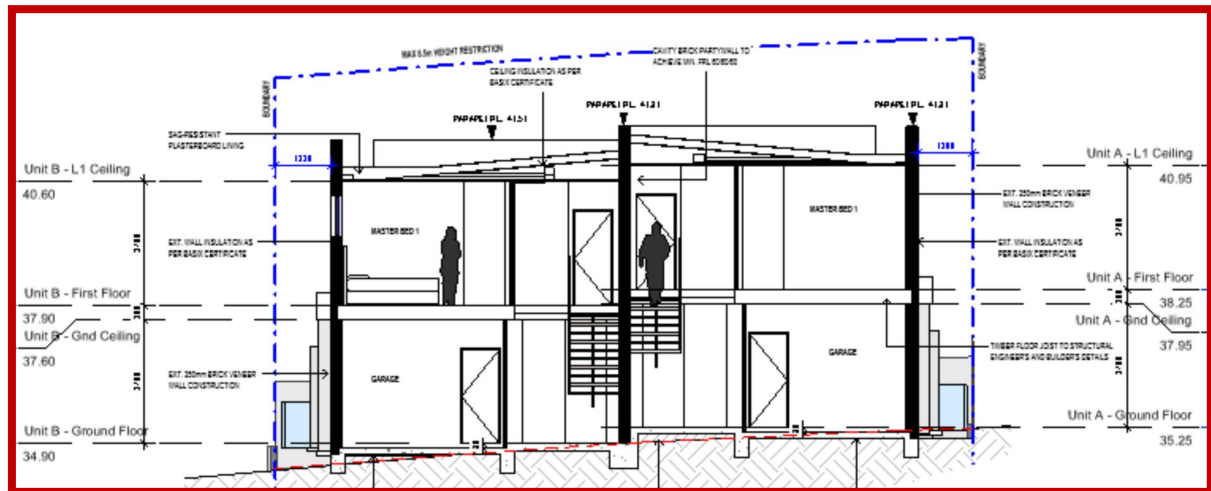


## Elevations (West)

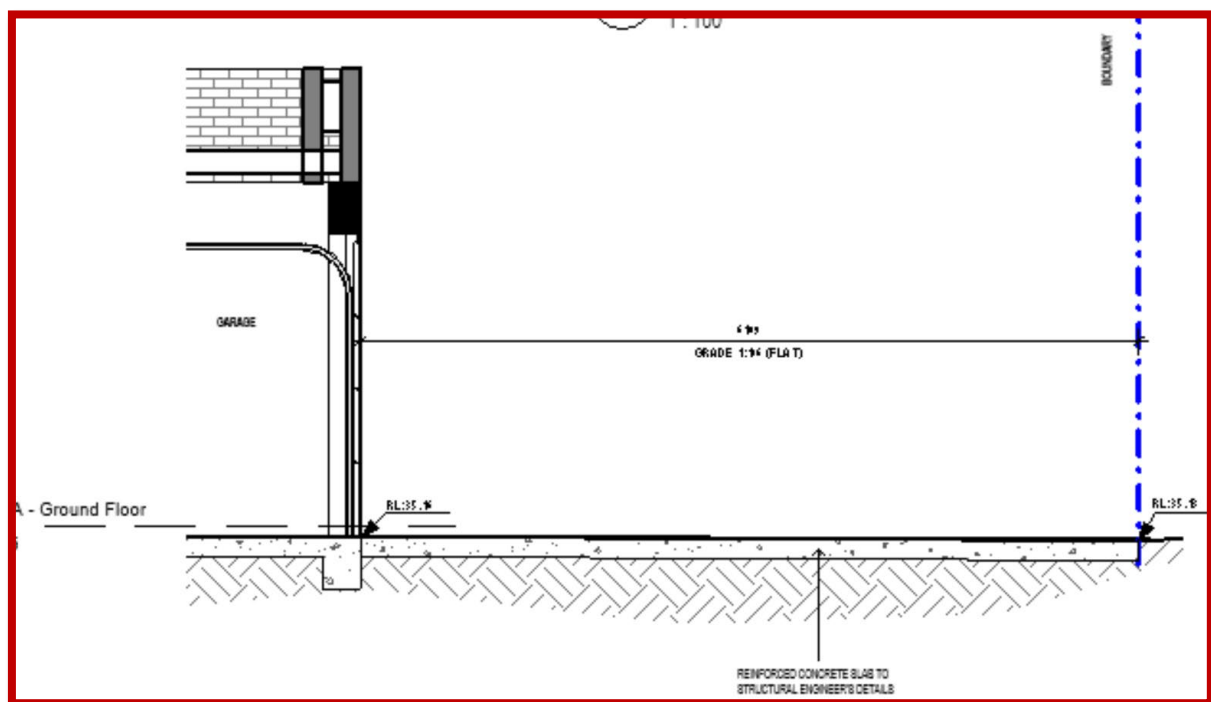




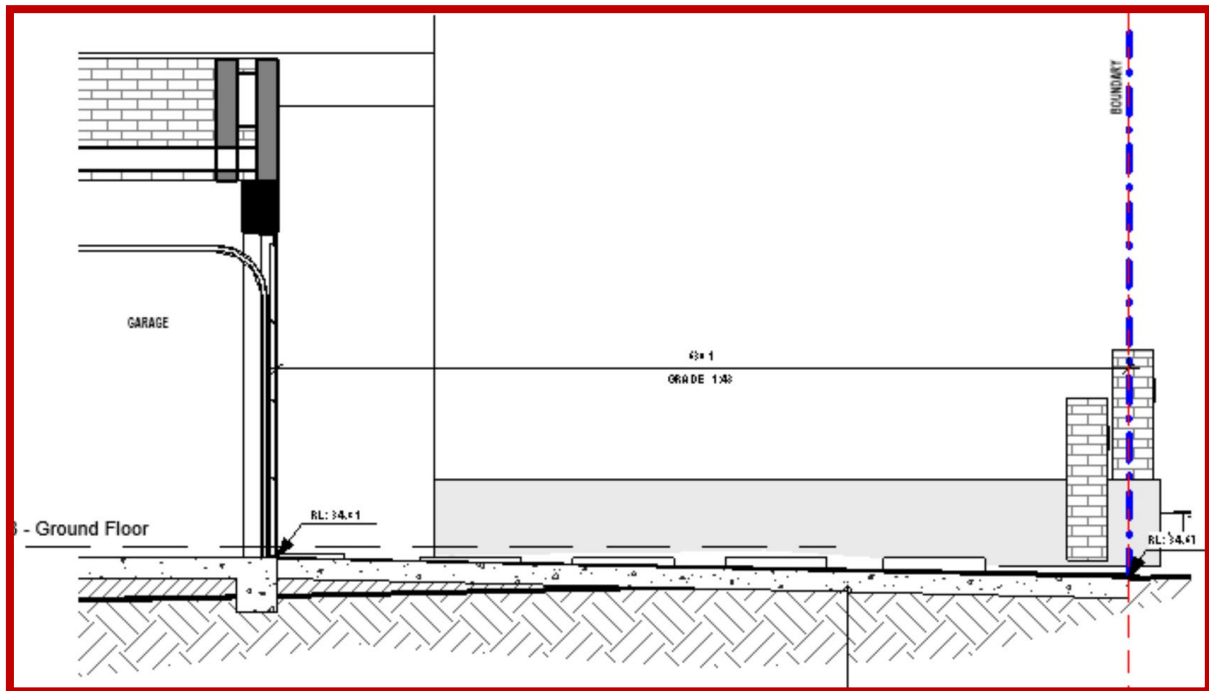
## Section (A-A)



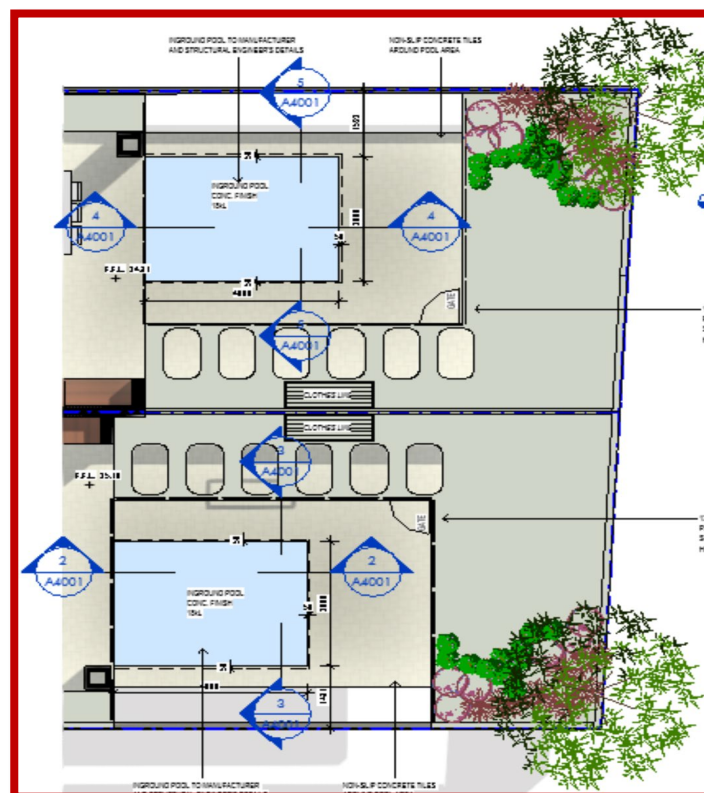
## Driveway Section (Unit A)



### Driveway Section (Unit B)



### Pool Plan



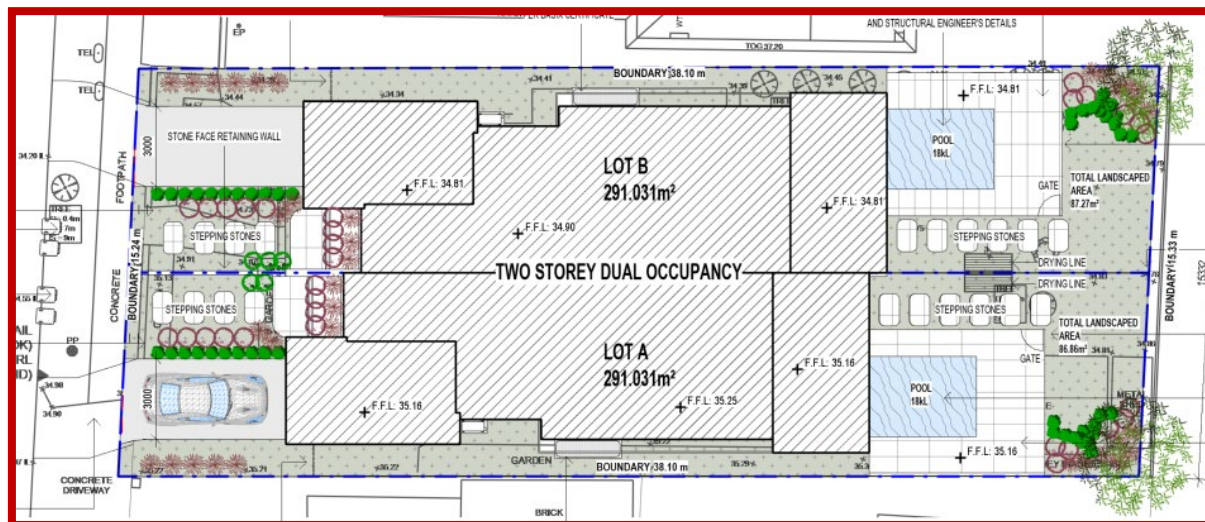
### Street Perspective



### Rear Perspective



## Landscape Plan



## 3.2 Development Calculations

Item	Proposal
Site Area	575.40m <sup>2</sup>
Gross Floor Area	Unit A Ground Floor: 74.94m <sup>2</sup> First Floor: 69.44m <sup>2</sup> Unit B Ground Floor: 74.94m <sup>2</sup> First Floor: 69.44m <sup>2</sup>
Floor Space Ratio (FSR)	Permitted 0.5:1 or 287.70m <sup>2</sup> Proposed: 0.501:1 or 288.76m <sup>2</sup>
Height of Building	Permitted: 8.5m Proposed: 7.526m
Front Setback (William Street)	Min 6m Proposed: 6.15m
Rear Setback	Min 6m Proposed: 13.65m
Side Setback	Min 1.2m Proposed: 1.2m
Landscaped Area	174.13m <sup>2</sup>



### **3.3 Landscaping, Tree Removal & Tree Protection**

Landscaping will be provided on the site of the proposed development to contribute to the landscaping character. Landscaping will be carried out using plants of enough scale to screen and compliment the proposed development.

The proposed residential building will present as a high standard, architecturally designed development, compatible with the existing residential buildings in the surrounding area and adjoining residential buildings in terms of scale and height.

#### **Post-Construction Landscaping**

To ensure that the landscaping and scenic quality of the locality is maintained and to ensure that the completed development will not result in sedimentation, the following should be implemented:

- Native trees and shrubs should be planted in appropriate areas; in accordance with the Canterbury DCP 2012.
- Stable ground cover should be established over the non-paved area of the site;
- The landscaped areas should be protected from vehicular traffic by kerbing or other similar road barriers;
- Stormwater drainage from the site should be connected to the existing drains soon as possible.

### **3.4 Demolition**

Demolition of all existing structures, front fence and concrete driveway are proposed for this site. The demolition will be taken out in accordance with the Australian Standards, Canterbury Local Environmental Plan 2012 and Canterbury Development Control Plan 2012.

### **3.5 Stormwater Management**

Stormwater collection and drainage shall be within the site and discharged via gravitational flow, through the stormwater system as per council's requirements.

### **3.6 Erosion & Sedimentation Control**

Prior to commencement of any site works including the removal of vegetation, excavation or other site preparation, the property shall be protected from erosion and sedimentation transfer.

The soil shall be prevented from being washed away, blown, or otherwise carried or deposited away from the site and into adjoining premises, roads, kerbs and gutters. It is proposed to adopt sedimentation control measures to prevent and minimise the soil



disturbance. These measures are incorporated in the following pages A0005 – Proposed Cut & Fill, Waste & Site Management Plan.

The erosion and siltation control will be viewed from two direct aspects. The first applies to the conditions that will occur during the earthworks and construction of the development and the second applies to the conditions that will exist on completion of the development and final landscaping.

Our recommendations pertaining to the appropriate control measures to be implemented for erosion and sedimentation control are as follows;

Earthworks and Construction Phase:

- run-off and erosion controls should be installed prior to clearing of the site vegetation;
- topsoil should only be stripped where necessary and should be stockpiled for re-use during the site rehabilitation and landscaping phase;
- The capacity and effectiveness of run-off and erosion measures should be maintained at all times;
- Stockpiles of topsoil and other aggregate materials should be stored clear of property boundaries and run-off control structures or barricades;
- Measures should be taken to prevent site vehicles tracking sedimentation and other pollutants onto the sealed roads;
- A silt fence using geofabric specially designed for such a purpose should be installed to the manufacturer's specification, below the area of construction. Based upon the existing site gradient, the recommended location for such a silt fence is along the West, North and East boundaries of the site. The position of this fence may require revision in the event that site earthworks may significantly change the site gradient. A typical detail of a silt fence and other similar control devices are as shown on sheet A0005 – Proposed Cut & Fill, Waste & Site Management Plan of the Architectural Plans.



## 4.0 PLANNING CONTROLS

The following Environmental Planning Instruments and Development Control Plans are relevant to the proposed development:

- Canterbury Local Environmental Plan 2012
- Canterbury Development Control Plan 2012

### 4.1 Canterbury Local Environmental Plan (LEP) 2012

Zone R3 – Medium Density Residential

#### 1. Objectives of zone

- To provide for the housing needs of the community within a medium density residential environment
- To provide a variety of housing types within a medium density residential environment
- To enable other land uses that provide facilities or services to meet the day to day needs of residents

#### 2. Permitted without consent

Home occupations

#### 3. Permitted with consent

Attached dwellings; Bed and breakfast accommodation; Boarding houses; Building identification signs; Business identification signs; Business premises; Car parks; Centre-based child care facilities; Community facilities; **Dual Occupancies**; Dwelling houses; Environmental protection works; Exhibition homes; Flood mitigation works; Group homes; Home businesses; Home industries; Multi dwelling housing; Neighbourhood shops; Office premises; Oyster aquaculture; Places of public worship; Recreation areas; Respite day care centres; Restaurants or cafes; Roads; Semi-detached dwellings; Seniors housing; Shops; Tank-based aquaculture

#### 4. Prohibited

Any other development not specified in item 2 or 3



The following table reviews the proposal against the relevant planning controls contained with the LEP 2012:

Item	Requirement	Proposal	Compliance
Cl. 4.1 – Minimum subdivision lot size	The size of any lot resulting from a subdivision of land to which this clause applies is not to be less than the minimum size shown on the Lot Size Map in relation to that land	5m <sup>2</sup>	✓
Cl. 4.1A – Minimum lot sizes for dual occupancies and dwelling houses in certain residential zones	Development consent must not be granted for the purpose of a dual occupancy on land to which this clause applies unless the area of the lot is at least 600 square metres	Area of the lot is 575.40m <sup>2</sup>	Seeking Variation
Cl. 4.3 – Height of buildings	The height of a building on any land is not to exceed the maximum height shown for the land on the Height of Buildings Map: 8.5m	7.526m	✓
Cl. 4.4 – Floor Space Ratio	The maximum floor space ratio for a building on any land is not to exceed the floor space ration shown for the land on the Floor Space Ratio Map	0.45:1	✓

#### 4.1 Clause 4.6 Variation

We are seeking variation to the minimum lot size for dual occupancies set out in the Canterbury Local Environmental Plan 2012 - 4.1A *Minimum lot sizes for dual occupancies and welling houses in residential zones – (3) Development must not be granted to development for the purpose of a dual occupancy on land to which this clause applies unless the area of the lot is at least 600 square metres.*

The site area of the site is 575.40m<sup>2</sup>, which is only **24.60m<sup>2</sup>** less than the minimum requirement as set out in the Canterbury LEP.

Upon researching previously approved Development Applications for Duplex's within the Canterbury LEP region, we have found another site, being 95 Rogers Street KINGSGROVE NSW 2208 Lot 1 DP 125480 was recently approved in February with the same site area as ours 576m<sup>2</sup>. The application was originally submitted and refused as DA-672/2021, however was resubmitted and approved under RE-672/2021/1.

RE-672/2021/1	95 Rogers Street, KINGSGROVE NSW 2208	10/02/2022	Approved
<b>Description</b> Division 8.2 Review of Determination of the refusal of DA-672/2021 for the demolition of existing structures and construction of a two storey attached dual occupancy with associated Torrens title subdivision and front fence		<b>Consideration in determining application:</b> The development application was assessed under Section 4.15 of the Environmental Planning and Assessment Act 1979. No submissions were received in relation to the development application.	

Figure 3: Lodgement Register Snippet (Source Canterbury Bankstown Council DA Decisions)

A test has been undertaken against the Canterbury LEP and DCP to ensure that all objectives have been met for both documents. We believe that everything, minus that of which we are seeking variation, meets/passes the requirements set forth. As shown throughout this report, all objectives have been listed and comments provided to show our compliance with both LEP and DCP.

Given this, we believe this variation should be considered for approval.

#### 4.2 Canterbury Development Control Plan (DCP) 2012

Canterbury DCP 2012 applies a portion of land within the Canterbury Bankstown Local Government Area. The Canterbury DCP 2012 came into effect on 1 January 2013.

A test has been undertaken against the Canterbury DCP to ensure all objectives of the code is achieved.



## Chapter C2 – Dual Occupancies and Semi-detached Dwellings

The general objectives of this chapter are:

- To ensure all neighbourhoods are safe and comfortable
- To ensure a diversity of well-designed dwellings that are sympathetic to the density and function of each neighbourhood
- To ensure residential streets and yards are green and leafy, with substantial tree canopy
- To ensure buildings are adequately setback from existing structures to facilitate household activities and landscaping
- To ensure that development provides good amenity, solar access and privacy for occupiers of new and existing buildings
- To ensure that development is of a high quality design, appearance and performance

Item	Requirement	Proposal	Compliance
C2.2.1– Minimum Lot Size and Frontage	C2 – Minimum 15m width, measured at the street boundary  C3 – Each dwelling is required to have a minimum frontage width of 7.5m	15.24m  7.61m	✓
C2.2.3 – Private Open Space	C2 – Dual occupancy and semi- detached dwellings with a frontage of 7.5m or greater must provide a minimum of 50m <sup>2</sup> of private open space  C3 – Dual occupancy and semi- detached dwellings must provide one area of private open space with a minimum dimension in any direction of 4m  C4 – Dual occupancy and semi- detached dwellings must provide one area at least 2.5m x 2.5m suitable for outdoor dining facilities	Unit A = 103m <sup>2</sup> Unit B = 104m <sup>2</sup>    Min. 4m.    Covered Alfresco area to both units. 3,6 x 6.60m	✓    ✓   ✓



	<p>C5 – The design of private open space must satisfy the following criteria:</p> <ul style="list-style-type: none"> <li>a) Be located at ground level to the rear of an allotment behind the dual occupancy</li> <li>b) Be located adjacent to the main living areas, such as a living room</li> <li>c) Have a maximum gradient of 1:50</li> <li>d) The principal area of open space for each dwelling may comprise a combination of privacy screens, sun-shading devices and landscaped areas</li> <li>e) Be designed to prevent direct overlooking from a public place or from neighbouring buildings</li> <li>f) Be designed to accommodate both recreation and services activities</li> <li>g) Include a suitably screened area of clothes drying facilities</li> <li>h) Be oriented to provide exposure to</li> </ul>	<p>Located on ground at the rear of each unit.</p> <p>The living / dining / kitchen areas open directly onto the Alfresco</p> <p>Rear P.O.S is flat</p> <p>The rear private areas comprises of a covered alfresco, small inground pool and a landscaped area with garden bed.</p> <p>Existing 1800mm high boundary fences prevent overlooking from neighbouring buildings.</p> <p>Complies.</p> <p>Proposed 1800mm wide x 800mm deep clothes proposed.</p> <p>During the midwinter period it is evident the</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>
--	---	---	---

	<p>midwinter sunlight whilst optimising privacy</p> <p>C6 – Ensure that balconies, verandas or pergolas do not encroach upon any required deep soil area</p>	<p>space gets substantial amount of sunlight. Refer to sheet A1104 of the Architectural Plans</p> <p>Balconies, verandas and pergolas do not encroach on any required deep soil.</p>	✓
<p>C2.2.4 Layout and Orientation Objectives:</p> <p>O1 – to encourage a more sustainable urban environment where energy efficiency is incorporated into the design, construction and use of buildings</p> <p>O2 – To reduce consumption of energy from non-renewable sources, and reduced greenhouse gas emission</p>	<p>C1 – Orientate development to maximise solar access and natural lighting, without unduly increasing the building's heat load</p> <p>C2 – Site the development to avoid casting shadows onto neighbouring dwelling's primary living area, private open space and solar cells</p> <p>C3 – Coordinate design for natural ventilation with passive solar design techniques</p> <p>C4 – Site new development and private open space to avoid</p>	<p>The ground floor to first floor ceiling glazed wall is proposed to maximise the natural light coming from the northern side of the site while providing substantial heat and creating a perfect cross ventilation path from south to north to ensure a comfortable living arrangement for both units. See BASIX Certificate for rating levels.</p> <p>Refer to Shadow Diagrams.</p> <p>Overshadowing to key areas is very minimal to adjoining neighbours.</p> <p>Orientation and window placement allows for natural cross ventilation.</p> <p>Neighbouring dwellings cast minimal shadows</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>





	<p>existing shadows cast from nearby buildings</p> <p>C5 – Site a building to take maximum benefit from cross-breezes and prevailing winds</p> <p>C6 – Do not compromise the creation of casual surveillance of the street, communal space and parking areas, through the required orientation</p>	<p>to the private open space area for this development.</p> <p>As above.</p> <p>Does not compromise on any of these items.</p>	<p>✓</p> <p>✓</p>
C2.3 – Building Envelope Cut and Fill	<p>C7 – Maximum 1m cut below ground level where it will extend beyond an exterior wall of the building</p> <p>C8 – No limit to cut below ground level where it will be contained entirely within the exterior walls of a building, however, excavated area is not to accommodate any habitable room that would be located substantially below ground level</p> <p>C9 – Maximum 600mm fill above ground level where it would extend beyond an exterior wall of a building</p> <p>C10 – If proposed cut and fill, or a retaining wall, would be deeper or higher than 1m, structural viability must be confirmed by suitably qualified engineer's reports</p>	<p>Cut is very limited. At most there will be approximately 250mm outside of the footprint. Cut contained within the footprint is limited to approximately 300mm</p> <p>Fill is limited to approximately 400mm outside of the footprint.</p> <p>N/A</p>	<p>✓</p> <p>✓</p> <p>✓</p> <p>✓</p>
Front, Side and Rear Setbacks	C2 – Development must comply with the minimum front, side and rear setbacks in the following tables:	Complies. Refer to Architectural Plans.	✓



	<p>Table C2.2: Dual Occupancy and Semi-detached 12.5m or greater</p> <table><tr><th>Setback</th><th>Controls</th></tr><tr><td>Front</td><td><ul style="list-style-type: none"><li>Min. 6m from front boundary</li><li>Max. 2m recess for the main entrance from the front of building line</li></ul></td></tr><tr><td>Side</td><td><ul style="list-style-type: none"><li>Min. 1.2m from side boundaries</li></ul></td></tr><tr><td>Rear</td><td><ul style="list-style-type: none"><li>Min. 6m</li></ul></td></tr></table> <p>C3 – Front and rear setbacks are to be provided as deep soil areas</p> <p>Exceptions and Other Requirements</p> <p>C4 – Min. setback of 1m from any side and rear boundary for swimming pools. Landscaping shall be provided in the setback area to screen the pool from neighbours.</p> <p>C5 – Swimming pools must not be located within any front setbacks</p>	Setback	Controls	Front	<ul style="list-style-type: none"><li>Min. 6m from front boundary</li><li>Max. 2m recess for the main entrance from the front of building line</li></ul>	Side	<ul style="list-style-type: none"><li>Min. 1.2m from side boundaries</li></ul>	Rear	<ul style="list-style-type: none"><li>Min. 6m</li></ul>	<p>Complies.</p> <p>1m with landscaping has been provided along the side boundaries to ensure privacy.</p> <p>Located at rear of site.</p>	<div>✓</div> <div>✓</div> <div>✓</div>
Setback	Controls										
Front	<ul style="list-style-type: none"><li>Min. 6m from front boundary</li><li>Max. 2m recess for the main entrance from the front of building line</li></ul>										
Side	<ul style="list-style-type: none"><li>Min. 1.2m from side boundaries</li></ul>										
Rear	<ul style="list-style-type: none"><li>Min. 6m</li></ul>										
C2.3.4 Building Depth	<p>C1 – Dual occupancy housing and semi-detached dwellings must not exceed a building depth of 25m</p>	<p>As shown on the Site Plan, the maximum building depth is 21.775m</p>	<div>✓</div>								



C2.4 Building Design	C2 – New building forms and design features shall not mimic traditional features, but should reflect these in a contemporary design	A contemporary façade has been proposed.	✓
	C3 – Access to upper storeys must not be via external stairs	All internal stairs only.	✓
	C4 – All dwellings must contain one kitchen and laundry facility	Both units contain one kitchen and one laundry. Both with direct access to outside	✓
	C7 – Entries to residential buildings must be clearly identifiable	The entry is clearly defined by the ground floor to first floor ceiling glazed wall and planters above, with stepping stones direct to the front door.	✓
	C8 - A minimum of one habitable room must be oriented towards the street to promote positive social interaction and community safety	The master suite is oriented towards the street.	✓
	C9 – Sight lines to the street from habitable rooms or entrances must not be obscured by ancillary structures	No ancillary structures.	✓
	C10 – Design interiors to be capable of accommodating the range of furniture that is typical for the purpose of each room	Each room has been designed to accommodate the typical furniture for each room.	✓
	C11 – The primary living area and principal bedroom must have a minimum width of 3.5m	Primary living area is min. 4.1 x 4.2m and the principal bedroom is min. 3.85 x 3.6m	✓




C12 – Secondary bedrooms must have a minimum width of 3m	All other bedrooms are min. 3.0 x 3.60m allowing substantial space for a built-in robe and small desk.	✓
C13 – Provide general storage in addition to bedroom wardrobes and kitchen cupboards	Linen cupboards have been provided to both ground and first floor with additional storage room in the garage.	✓
C15 – Use non-reflective materials, do not randomly mix light and dark coloured bricks, and treat publicly accessible wall surfaces with an anti-graffiti coating	See Architectural Plans for materials and colours. No reflective or random colours have been proposed.	✓
C16 – Façade design should reflect the orientation of the site using elements such as sun shading devices, light shelves and bay windows	See elevations above or Architectural Plans for design reflecting this item.	✓
C17 – Facades visible from the street should be designed as a series of articulating panels of elements	Building is designed with articulation as required. See elevation above or Architectural Plans.	✓
C20 – Avoid long flat walls along street frontages	No long flat walls are proposed along the street frontage.	✓
C21 – Vary the height of modules so they are not read as a continuous line on any one street	Varying heights have been incorporated in the design through planter boxes and balcony dwarf walls.	✓
C22 – Incorporate contrasting elements in the façade – use a harmonious range of high quality	Timbers, metals, stone work and renders have been proposed which	✓



	<p>materials, finishes and detailing</p> <p>C29 – Large windows should be screened with blinds, louvres, awnings or pergolas</p>	<p>coupled together with the proposed colours allows for a harmoniously designed facade.</p> <p>The large glazed panel wall on the front faced is screened using the overhanging planters on both ground and first floor. All other large windows/ doors are in the rear (Alfresco) which is covered by a roof.</p>	✓
C2.4.2 Roof Design and Features	C4 – Parapet roofs that increase the height of exterior walls are to be minimised	All parapets are designed to be as minimal as possible. The planters aid in this design.	✓
C2.4.3 Fencing	<p>C1 - Provide boundary definition by construction of an open fence or low hedge to the front street boundary</p> <p>C2 – Front fences within the front boundary setback are to be no higher than 1.2m</p> <p>C3 – Side fences may be 1.8m high to the predominant building line. Forward of the building line, side fences must taper down to the height of the front fence, no greater than 1.2m</p>	<p>1100mm high rendered front fence with lockable timber gate proposed.</p> <p>1100mm high rendered front fence with lockable timber gate proposed.</p> <p>Side and rear fences are to remain.</p>	<p>✓</p> <p>✓</p> <p>✓</p>
C2.5.1 Solar Access and Overshadowing	C1 – Where site orientation permits at least primary living areas of dwellings must received	Living areas are expected to receive between 2 and 3 hours	✓



	<p>a minimum of 3 hours of sunlight between 9.00am and 4.00pm on 21 June.</p> <p>C2 – Principle areas of private open space must received a minimum of 3 hours of sunlight between 8.00am and 4.00pm on 21 June to at least 50% of the open space surface area</p> <p>C4 – Proposed development must retain a minimum of 3 hours of sunlight between 8.00am and 4.00pm on 21 June for existing primary living areas and to 50% of the principal private open space</p> <p>C5 – If a neighbouring dwelling currently receives less than 3 hours of sunlight, then the proposed development must not reduce the existing level of solar access to that property</p>	<p>of sunlight given they are at the rear sides of the units.</p> <p>Private Open Space areas will receive at least 3 hours of sunlight. Refer to shadow diagrams.</p> <p>Existing primary living and private open space areas will maintain a minimum 3 hours of sunlight. Refer to shadow diagrams.</p> <p>As above.</p>	<p>✓</p> <p>✓</p> <p>✓</p>
C2.5.2 Visual Privacy	<p>Minimise direct overlooking of rooms and private open space through the following:</p> <ul style="list-style-type: none"> <li>a) Provide adequate building separation, and rear and side setbacks; and</li> <li>b) Orient living room windows and private open space towards the street and/or rear of the lot to avoid direct overlooking between neighbouring residential properties</li> </ul>	<p>All setbacks required by Canterbury DCP have been followed.</p> <p>All living areas and private open space have been designed towards the rear of the site avoiding direct overlooking between neighbouring properties.</p>	<p>✓</p>

	<p>C3 – If living room windows or private open spaces would directly overlook a neighbouring dwelling:</p> <ul style="list-style-type: none"> <li>a) Provide effective screening with louvres, shutters, blinds or pergolas;</li> <li>b) Use windows that are less than 600mm wide or have a minimum sill height of at least 1.5m above floor level</li> </ul>	<p>Any living room/bedroom windows have been designed to be 1500mm above the finished floor level ensuring privacy is maintained.</p>	
--	--	---	---

## 6.0 CONCLUSION

The subject site is zoned R2 Medium Density Residential and Dual Occupancies are permissible within this zone with consent.

The proposal is permissible with development consent and performs favourably in relation to the relevant aims, objectives and development standards of the relevant environmental instruments and associated development control plan.

The proposed Clause 4.6 variation should be considered satisfactory and thus the proposed dual occupancy is consistent with the planning controls and should be supported.

In conclusion, we respectfully request all the information here noted be considered to enable approval of the proposed use as submitted. As always, we are most eager to co-operate with Council in the determination of this application by offering any further information which may provide assistance.

